

VILLAGE OF JOHNSON CITY, NEW YORK

REQUESTS FOR PROPOSALS

for

*The purchase and redevelopment of
19 Avenue B*

May 27, 2024

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DESCRIPTION OF REQUEST

1. PURPOSE

The Village of Johnson City (the “Village”) The Village of Johnson City is seeking proposals for the purchase and redevelopment of the property located at 19 Avenue B, Johnson City, New York (the “Site”).

2. BACKGROUND

The Site includes a former Endicott-Johnson (EJ) Shoe Manufacturing Company factory building located in the Johnson City Innovation District (iDistrict) established in 2013 as part of the Broome County Comprehensive Plan.

An iDistrict, short for Innovation District, is a geographic area where cutting-edge, high-tech anchor institutions and companies cluster and connect with startups, business incubators, and accelerators. These physically compact areas are accessible and contain a mix off uses including housing, office and retail. In this fashion, the iDistrict leverages creative investment to spur economic development and job growth in a specified area.

Specifically, in the Johnson City iDistrict, Binghamton University and United Health Services (UHS) are setting the stage as major drivers of development. The construction of the School of Nursing and the Pharmaceutical School, collectively the Binghamton University Health Sciences Campus, have established a new student market that will create demand for a walkable, welcoming iDistrict with new restaurants and entertainment. Meanwhile, the development of a new \$100 million state-of-art renovation of UHS will provide employment opportunities for young professionals seeking the same environment.

The property associated with this request has also been identified as an anchor institution downtown. Example uses may include, but are not limited to: factory outlets, farmers’ market, café/coffee shop with outdoor space, UHS Doctor offices, bookstore, mixed-income housing, clean energy technology incubator, mixed-use retail and residential, mixed-use incubator and workshop, artist space, development that includes roof top terrace and restaurants, solar model for the area, 24-hour fitness gym, urban paintball, outlets/cafes, recreation space, rock climbing gym. See below for details on zoning, land use, site history and context to assist in generating competitive proposals.

3. ZONING

The site is zoned General Commercial. Section 300-21.3 of the Village of Johnson City Zoning Code which outlines the permitted uses is attached. For more information on zoning, consult the Village of Johnson City Zoning Code which is online at: <https://ecode360.com/15493789>

4. LAND USE

Large-scale commercial, residential and industrial uses are located within half a mile of the Site. These include the Wal-Mart SuperCenter, Victory Lofts (59 Lester Ave), Gannett Building owned by the Binghamton University Foundation and a warehouse and discount outlet for Olum's Furniture. To the south, the area is characterized by the downtown/iDistrict with small-scale commercial and multi-family residential along Laurel St, Avenue A, Avenue D and Main Street.

The Village of Johnson City's iDistrict will follow a similar model similar to other iDistricts, aiming to create clusters of innovative people and businesses, build and develop flexible and sustainable housing options, and provide public space, infrastructure, and programming to foster this "Innovation Ecosystem." The three key components of the Innovation Ecosystem are:

1. Cultivators: local development corporations, technical assistance providers, incubators, shared work spaces, and tech transfer offices.
2. Drivers: research and technology-based institutions such as high-tech firms, engineering and design companies, fabricators, and innovative medical practices.
3. Vibrant Neighborhoods: featuring cafes, small scale retail, walkable streets, attractive buildings, public outdoor spaces, bicycle and pedestrian amenities, and a range of desirable housing options.

In 2015, Governor Andrew M. Cuomo announced the Southern Tier was awarded \$500 million through the Upstate Revitalization Initiative (URI); a portion of those funds were used to invest in the Johnson City iDistrict. Below is a list of URI-related projects currently underway or completed that will contribute to the development of the Johnson City iDistricts (details in Section 6):

- The Binghamton University Pharmacy School,
- The Binghamton University Decker School of Nursing
- Century Sunrise Apartments
- Rehabilitation of the Historic Square Deal Arch
- Revitalization of Workers Park (115 Main Street) & Jenison Park (55 Willow Street)
- Downtown Streetscapes Enhancements

To help guide the URI funding, Broome County, the Town of Union, and the Village of Johnson City hired Bergmann Associates to prepare a redevelopment plan for the Johnson City iDistrict. As part of this effort, the community was asked how other nearby EJ factories should be redeveloped. Responses from residents included uses previously detailed in Section 2: Background of this RFP.

5. SITE HISTORY

The Site was originally opened as a factory for EJ and was known as the New Toe Box Company Building. In the 1940s, wartime production peaked for the company, with approximately 20,000 employees and 52 million pairs of shoes and boots produced each year. Within walking distance of the Site is CFJ Park, now owned by the Village, and Your Home Library. Also nearby is the former EJ Recreation Center, which is located adjacent to the Your Home Library and has been converted to a private business.

In the 1970's, EJ left the Site and it fell into disrepair. The Village of Johnson City took possession of the Site in 2018.

6. SITE CONTEXT

The Site is located near Exit 71S NYS Route 17 (future I-86). Within 1/3 of a mile of the Site the following major projects have been completed or are currently underway:

10 Gannett Drive: Owned by the Binghamton University Foundation, the site is proposed to house the Speech & Language Pathology program with room for future development.

Century Sunrise Apartments: Located at 135-139 Baldwin Street, this \$29 million dollar project converted a former EJ factory into 104 units of mixed-income housing and opened in 2018.

Binghamton University Decker School of Nursing: Binghamton University converted a 90,000 square foot former EJ factory at 48 Corliss Avenue, into the home of its School of Nursing. The facilities opened in 2021.

Binghamton University School of Pharmacy and Pharmaceutical Sciences: Binghamton University's new pharmacy school at 96 Corliss Avenue. The \$60 million, 84,000 square foot building opened in 2018.

The Victory Building: Another former EJ factory located at 59 Lester Avenue. This six-story, approximately 250,000 square foot building was purchased in the spring of 2020 by Syracuse development firm, Paulus Development and has been redeveloped into first-floor parking, three stories of residential units, and fifth-floor commercial space, totaling 156 housing units.

In addition, the following significant landmarks are within a short walk from the building: CFJ Park; Wal-Mart Supercenter; Olum's Clearance Center discount furniture outlet; and Goodwill Theatre Complex.

All of the above projects are shown on the attached Context Map.

SUBMITTAL INSTRUCTIONS FOR BIDDERS

GENERAL INFORMATION

1. Developers submitting proposals (hereafter “Respondent”) shall be able to document their experience in redeveloping projects.

For a Respondent to be considered for engagement, One (1) original, One (1) copy, and One (1) pdf version on a digital medium (e.g., USB thumb drive) of their proposal must be submitted to:

*ATTN: Stephanie Yezzi, CFM, Director of Planning
Village of Johnson City
60 Lester Avenue
Johnson City, New York 13790*

Envelopes containing proposals must be labeled as follows:

“PROPOSAL FOR THE PURCHASE AND REDEVELOPMENT OF 19 AVENUE B”

The deadline for submission of proposals is 5:00 p.m. local time on Friday, November 1, 2024.

Respondents are responsible for submitting their proposals to the appropriate location at or prior to the date indicated in the specifications. **No proposals will be accepted after the designated date and time indicated in the proposal specifications.** Any proposals received after this deadline will be returned unopened. Delay in mail delivery is not an exception to the receipt of a proposal.

The Village Board of Trustees (hereafter “Board”) reserves the right to reject any and all proposals submitted or to accept any proposal which, in the opinion of the Board, will be in the best interest of the Village.

2. Inquiries – Village RFP documents are distributed by the Village Director of Planning. The Village Director of Planning, or designee, shall be the only one authorized to make changes or alterations to anything contained in this RFP. Copies of RFP documents obtained from any other source are not considered official copies. Only those prospective Respondents who obtain RFP documents from the Village Director of Planning will be sent addendum information, if such information is issued.

Limited requests for clarification or additional information regarding this Request for Proposal are to be submitted in writing prior to the proposal opening. **Verbal questions will not be entertained.** Questions may be submitted via emails. Questions must be submitted at least 72 hours prior to the proposal submission deadline. Failure to do so may result in rejection of the proposals as being unresponsive.

Any substantive requests for information that are received and responded to by the Village will be provided to prospective Respondents in the form of an addendum.

All questions concerning this proposal shall be sent to:

Stephanie Yezzi, CFM, Director of Planning

Village of Johnson City

60 Lester Avenue

Johnson City, New York 13790

planningdirector@villageofjc.com

3. Form of RFP – Responses to the RFP should be prepared in the format set forth in the accompanying documents, including a full description of the Respondent's experience. A non-responsive or incomplete response will be removed from consideration.

Prior to the opening of responses, the Village may amend, through Addenda, the RFP specifications to correct errors or omissions, or to supply additional information, as it becomes available. All Addenda will be provided to all respondents no later than three (3) days prior to the date the qualification statements and cost proposals are due.

4. VILLAGE'S RIGHTS - THE VILLAGE RESERVES THE RIGHT TO NEGOTIATE TERMS WITH ANY OR ALL RESPONDENTS; TO REJECT ANY OR ALL RFPS, IN WHOLE OR ANY PART THEREOF; TO RESOLICIT FOR RFPS; AND TO WAIVE ANY MINOR NON-CONFORMITIES IN ACCORDANCE WITH THE VILLAGE'S DETERMINATION OF ITS OWN BEST INTERESTS.
5. RFP Longevity - No Respondent may withdraw or cancel their response for a period of forty-five (45) days following the closing date for submissions, nor shall the successful Respondent withdraw, cancel or modify the response, after having been notified that the RFP has been accepted by the Village, except at the request of the Village or with the Village's written consent.
6. Respondent's Conditions - Any conditions or expectations on the part of the Respondent for performance by the Village must be set forth in Respondent's submittal. The Village is not obliged to consider the Respondent's post-submittal terms and conditions. *** If any service is not included, or is available for an additional cost, the submittal shall clearly so state. ***
7. Respondent's Preparation Costs - Any costs incurred by the Respondent in responding to this RFP is at the Respondent's own risk and expense as a cost of doing business. All materials submitted with an RFP shall become property of the Village and will not be returned to the Respondent. The Respondent is hereby notified that all submitted materials, following the award of a contract, are subject to disclosure pursuant to the New York State Freedom of Information Law (New York Public Officer's Law section 86 et seq.).

SITE DETAILS

Ownership

The property is owned by the Village of Johnson City.

Property Specifications

Address: 19 Avenue B, Village of Johnson City, New York, 13790;

Tax map number: 143.57-2-36

Size: Approximately 0.65 acres

Building Specifications

Delta Engineers, Architects & Land Surveyors performed a code study of the building for the Broome County Planning Department. The code study assumed that the building would be renovated into a NYS Farmhouse Beverage Foundry (small scale manufacturing facility with a tasting room, local foods dining area, and retail space) and was performed prior to revisions to the building code in May of 2020. The code study is intended to only be informational and shall not be construed to be the Village's approval or consent to any drawing or design contained in the code study. Proposers are solely responsible for ensuring their proposals adhere to the current building code. A copy of the code study is attached.

The building consists of two floors and 40,000 square feet of space.

Environmental Conditions

The following environmental documentation has been prepared for the Site:

Phase I Environmental Assessment of 19 Avenue B (July 2016)

Prepared by: Delta Engineers, Architects & Land Surveyors

Pre-Demolition Asbestos Survey Report of 19 Avenue B (August 2016)

Prepared by: Delta Engineers, Architects & Land Surveyors

All of the above documentation is attached.

Historic Preservation

In 2012, Broome County Planning commissioned a Multiple Resource Survey of Industrial Resources (MPS). That document, a portion of which is linked at the end of this Request for Proposals indicates that the New Toe Box factory building located at 19 Avenue B is a Listed Resource in the Johnson City Historic District. The Johnson City Historic District is on the State and National Registers of Historic Places; however, 19 Avenue B is not an individually listed resource.

SUBMISSION REQUIREMENTS

Respondents must provide the Village of Johnson City with the following items:

Project Description: A narrative of the Respondent's approach to the development of the Site, including proposed uses for all floors. Describe how the proposal is appropriate for the neighborhood, consistent with local zoning, advances the iDistrict and supports the Broome County Comprehensive Plan (2013). Describe and support the anticipated market, users, and/or customers of the development Site.

Project Schedule: Include a project completion schedule including start and completion dates and other milestones for action, including proposed development phases as may be applicable. The proposal must include the time period by which this project will be initiated and completed. The Village of Johnson City may institute a reverter clause to retake the Site if there is insufficient progress on the redevelopment.

Project Financing and Financing Capacity: Include specific terms of Site acquisition, a development budget, including sources and uses and phasing as applicable, a ten-year pro forma (operating budget) analysis including market and financial assumptions, and other financial information for the project including PILOT proposals. Include the anticipated time schedule to assemble needed financial commitments, types of financing expected, specific incentives required and their impact on the financial assumptions, and letters of interest from banks or other sources. Respondent must provide proof of its ability to close the land transaction within 90 days of Village approval. Include any and all other financial commitments or projections that are relevant to a successful completion of the project. Financial partnerships must be identified.

Project Team: Provide a history of the Respondent's business or organization, including years of operation, locations, size, growth, services, and financial stability. Include information regarding any pending or recent lawsuits against the organization, its officers, or employees. If the proposal is submitted by a lead organization on behalf of several partners, provide similar information for each partner.

Prior Experience: Provide a description and dates of other significant projects completed, particularly those similar in size and characteristics. Include names, title and phone numbers of contact persons from units of government where these projects are located. Include any other documents to demonstrate capacity.

Purchase Price: All proposals must include a bid price for the Site. Respondents under consideration may be asked to provide substantive information regarding the financial capacity of the submitting organization and its principals, including the Respondent's financial statements from the previous three years.

Environmental Compliance: Any development of the Site will require completion of the Full Environmental Assessment Form and a Type 1 SEQRA review due to the Historical Significance. Respondent shall be solely responsible for completing any and all required SEQRA reviews, including but not limited to the preparation and submission of forms, documents, and resolutions to complete such review.

Zoning and Planning: Respondent shall be solely responsible for completing any and all zoning and planning reviews, including but not limited to the preparation and submission of forms, documents, and resolutions to complete such review.

Indemnification: To the fullest extent permitted by law, the Respondent and Respondent's officers, directors, members, partners, agents, employees, and consultants will indemnify, defend with competent counsel and hold harmless the Village, its officers, agents and employees from and against any and all liabilities, claims, damages, judgments or awards and any and all loss or expense (including reasonable attorney's fees) that may arise by reason of liability for damage, injury or death arising from or relating to the Site following transfer of the Site from the Village to the Respondent.

The Village of Johnson City reserves the right to request additional information from any and all respondents.

SELECTION CRITERIA

<u>Offered Purchase Price</u>	10%
Provision of competitive terms to develop the Site	
<u>Financial Capacity of Respondent</u>	10%
Respondent's financial strength as indicated by the materials provided in the submission (shall include plans for submitting PILOT application)	
<u>Demonstrated Success with Projects of a Similar Size and Complexity</u>	25%
Respondent's experience developing comparable projects	
<u>Proposed Project Timeline</u>	10%
Proven ability and commitment to complete the Project in a timely manner.	
<u>Consistency with iDistrict and Comprehensive Plans</u>	25%
Demonstrated linkage between the proposed redevelopment and concepts of the iDistrict as outlined in this RFP and the Southern Tier Economic Development Council's Upstate Revitalization Initiative plan as well as general support of the Broome County countywide comprehensive plan.	
<u>Total Proposed Investment and Leveraged Funds</u>	20%

The Village reserves its rights to examine any other criteria and take the same under consideration and to reject any firm or proposals despite its compliance with these criteria if it determines that to do so would be in its best interests. During or after the review of responses, the Village may submit written questions and requests for clarification, and may conduct interviews. The Village intends to select the firm(s) that, in its opinion, best meets the Village's needs.

Appendices

Appendix A: Context Map

Appendix B: Village of Johnson City Zoning Ordinance Section 300-21.3

Appendix C: Code Study

Other Resources Noted Herein

[Broome County Multiple Resource Survey \(MRS\)](#)

[Phase I Environmental Assessment](#)

[Asbestos Pre-Demolition Survey](#)

Appendix A
Context Map

19 Avenue B Context Map



DISCLAIMER: Broome County does not guarantee the accuracy of the data presented. Information should be used for illustrative purposes only.

Appendix B
Village of Johnson City Zoning Ordinance Section 300-21.3

§ 300-21.3. Uses. [Amended 3-6-2012 by L.L. No. 1-2012 ; 12-4-2018 by L.L. No. 14-2018 ; 6-21-2022 by L.L. No. 11-2022]

Uses are allowed in commercial and office zoning districts in accordance with Table 21-2.

- A. Uses identified with a "P" in Table 21-2 are permitted as-of-right in the subject zoning district, subject to compliance with all other applicable standards of this Zoning Ordinance.
- B. Uses identified with a "SP" in Table 21-2 may be allowed if reviewed and approved in accordance with the special permit procedures contained in Article 66.
- C. Uses not listed and those identified with a "-" are expressly prohibited.
- D. Other commercial or business uses, except those expressly prohibited, shall be permitted in the General Commercial and Central Business Districts under the following circumstances:
 - (1) Upon the finding by the Planning Board that such use is of the same general character as those permitted and will not be detrimental to the other uses within the district or to the adjoining land uses;
 - (2) Upon issuance of a special permit pursuant to Article 66; and
 - (3) Upon issuance of a site plan approval pursuant to Article 63.

Table 21-2		
Permitted and Specially Permitted Uses		
P	=	Permitted
SP	=	Specially permitted
—	=	Prohibited

Land Use		Zoning District			
		CB	NC	GC	CO
Commercial					
	Professional, medical or dental office	P	P	P	P
	Dance, art, or music studio	P	P	P	—
	Bank or financial institution	P	P	P	P

Land Use		Zoning District			
		CB	NC	GC	CO
	Retail or personal service store or shop	P	P	P	—
	Shopping center	SP	—	P	—
	Veterinary clinic	P	SP	P	SP
	Kennel	—	—	SP	—
	Mortuary or funeral home	SP	SP	SP	SP
	Laundromat or dry cleaning outlet	P	—	P	—
	Dry cleaning facility	—	—	P	—
	Drinking establishment or tavern	P	SP	P	—
	Fast-food restaurant	P	—	P	—
	Sit-down restaurant	P	SP	P	—
	Take-out restaurant	P	SP	P	—
	Dance hall, theater, private club	P	SP	P	—
	Bowling alley	P	—	P	—
	Indoor recreation facility	SP	—	P	—

		Zoning District			
Land Use		CB	NC	GC	CO
	Outdoor recreation facility	—	SP	SP	—
	Adult uses	—	—	SP	—
	Lodging	P	P	P	—
	Conference/meeting center	SP	—	P	—
	Gasoline station	—	SP	SP	—
	Car wash	—	—	SP	—
	Auto sales or rental	—	—	SP	—
	Auto repair establishment	—	—	SP	—
	Motor vehicle parking lot	P	SP	P	SP
	Outdoor sales or display	SP	—	P	—
	Stand alone drive through establishments	—	—	P	—
	Drive-through in conjunction with a permitted use	SP	SP	P	SP
	Mix of permitted uses	P	SP	P	SP
	Accessory use	P	P	P	P
	Corner store	SP	SP	SP	—

		Zoning District			
Land Use		CB	NC	GC	CO
	Vape shops, tobacco retail stores, tobacco consumption shops and hookah bars	SP	SP	SP	—
Institutional					
	Educational institution	SP	SP	P	SP
	Nursery school	P	P	P	P
	Church or religious institution	P	P	P	P
	Hospital or health care facility	SP	SP	SP	SP
	Public utility	P	P	P	P
	Public or municipal use	SP	SP	P	P
	Telecommunications facilities	SP	SP	SP	SP
	Day care (adult and youth)	—	P	P	—
Residential					
	Single-family dwelling	—	P	P	P
	Apartment over commercial	P	P	P	—
	Multifamily dwelling	P	P	P	P

		Zoning District			
Land Use		CB	NC	GC	CO
	Boarding- or rooming house	P	—	—	—
	Group care facility	—	—	SP	—

Appendix C

Code Study

January 1st, 2018

Mr. Frank Evangelisti
Director - Broome County Department of Planning & Economic Development
Broome County Office Building
60 Hawley Street P.O. Box 1066
Binghamton, NY 13902

Code Study for 1 Avenue B Johnson City, NY
Project Number 2016.288.008

Dear Mr. Evangelisti,

Enclosed is Delta Engineers, Architects, & Land Surveyors Code Study for 1 Avenue B. We have summarized our findings in the Executive Summary. We have also prepared conceptual drawings by which we based our code study. The drawings are separate from this study due to size.

Executive Summary

Delta Engineers, Architects, & Land Surveyors (Delta) was retained by Broome County Planning and Economic Development (BCDPED) to perform a code review for 1 Avenue B, Johnson City, NY to renovate the existing two-story structure with partial basement, into business spaces. There will be a second option of factory space on the first floor and business space on the second floor. The existing structure appears to be nearing failure at multiple locations with excessive steel corrosion and concrete decay throughout. The building has been vacant for many years and exposed to the elements via roof openings and window openings.

Background

Delta was retained by the BCDPED to gain an understanding of the scope and related costs to renovate the building at 1 Avenue B, Johnson City, NY; formally known as the New Toe Box Company Factory. There is evidence that the building was occupied at some time by the Volunteers of America, based on recent site visits.

The scope of this study is to develop a code review of the building assuming business on the first and second floors and a second option of factory space on the first floor and business on the second floor. The basement level will be used for storage and mechanical space to serve the first and second floor in either option.

A Pre-demolition Asbestos Survey Report was completed on July 30, 2016 which is attached to this report.

Existing

The building is a two-story steel framed and exterior load bearing masonry structure, built circa 1914 as a manufacturing facility. The total building footprint is approximately 13,100 sq. ft. and sits on .58 acres of property. The facility appears to have been constructed into 3 distinct fire areas separated by large sliding fire doors, identified on the attached drawings. The North and South areas of the building are separated via fire doors,

while the North-East area is currently only accessible by the exterior and a single man door on the second floor. The floor deck heights of Rooms 104 and 204 are lower than the remainder of the building.

Through several roof openings, and shattered windows, the building has been exposed to the elements. There is a large hole in the structural concrete roof deck in the North-East area, as well as other portions of the concrete roof deck deteriorating and collapsing. The roof membrane is also completely dry rotted allowing significant water intrusion through-out the roof resulting in moss and plant growth on the second floor, and water damage traveling down the steel frame to all levels. The North-East roof over Room 204 appears to be in better condition than the remainder of the building with less signs of weathering and rust.

Per the Broome County Multiple Resource Survey of Industrial Resources (MPS) dated March 2012, which references the National Register nomination, it indicates that the building and site is a Listed Resource. Per the MPS, an "L" - Listed Resource: This resource has previously been listed on the State and National Registers of Historic Places, either individually or as part of a district.

This historic information is relevant as it sets the parameters for the code review and ultimately the project.

Code

New York State has adopted the Uniform Codes which consist of specific codes that are pertinent to a specific scope of work or system. For this project the International Existing Building Code (IEBC) with The New York State Code Supplement is the starting point. Per Chapter 3: Use and Occupancy Classification, the building was originally designed as a manufacturing facility, and the proposed occupancies are Factory (F-1, moderate hazard) and Business (B). The IEBC defines the Business (B) occupancy, as a Change in Occupancy under Chapter 12 Historical Buildings. Per table EBC1012.4, the (B) occupancy has an equal means of egress hazard category from the original manufacturing/factory. Ultimately all new construction must comply with the Building, Mechanical, Plumbing, Fire, and National Electric Codes, in conjunction with exceptions from the various code sections for systems and components, these are indicated accordingly within the outline.

Code Summary Outline

Architectural

- Previous Building Use: Originally design as shoe factory- F-1 Moderate Hazard (per current code)
- There is evidence of tenants since F-1 occupancy, however the building is currently unoccupied.
- Occupant load for Business and Industrial areas is 100 gross per sq. ft. (300 people)
- Proposed Use for this Code review/study:
 - Basement – Storage and Mechanical Systems.
 - First Floor: Business (B) or Factory (F-1, moderate hazard)
 - Second Floor: Business
- Existing construction: Two-story cast in place concrete foundation, load-bearing brick walls, concrete floors, steel columns and beams. The roof structure is a reinforced concrete panel system with EPDM roof membrane. System is failing in multiple locations. Rebar is exposed in multiple locations.
- Existing exiting/egress/life safety: Concrete exit stairs in brick masonry stair towers, with existing fire doors.
- Existing building has non-functional sprinkler system in North and South areas.
- Existing exterior walls are load bearing masonry.

- Existing Building Code: Change of Occupancy EBC10 per tables
 - EBC1012.4 Means Of Egress Hazard Categories
 - Occupancy classifications (B and F-1) is the same hazard category
 - EBC1012.5 Heights And Areas Hazard Categories
 - Occupancy classification (B) is a lower hazard category.
- Construction Type: All floors are Type IIB Non-combustible.
- Allowable Height: Table BC504.3: (B or F Occupancy):
 - Non-sprinkled - 55'
 - Sprinkled - 75'
- Actual Average Height: 36' - 3" +/-
- Allowable number of stories: Table BC504.4:
 - B Occupancy
 - Non-sprinkled - 3 stories
 - Sprinkled - 4 stories
 - F-1 Occupancy
 - Non-sprinkled - 2 stories
 - Sprinkled - 3 stories
- Actual Building Stories: Two with partial Basement level.
- Allowable Area: Table BC506.2:
 - B occupancy:
 - Non-sprinkled – 23,000 s□ ft.
 - Sprinkled (Multi-story) – 6□,000 s□ ft.
 - F-1 occupancy:
 - Non-sprinkled – 15,500 s□ ft.
 - Sprinkled (Multi-story) – 46,500 s□ ft.
- Actual Area:
 - Gross square footage: 36,500 s□ ft.
 - Basement: 10,000 s□ ft.
 - First and Second floor: 13,500 s□ ft. each.
 - Net interior areas shown on drawings
 - Historic exception: Per EBC1205.2 Building area: The allowable floor area for historic buildings undergoing a change of occupancy shall be permitted to exceed by 20 percent the allowable areas specified in Chapter BC5 of the International Building Code.
- Fire Protection: EBC1012.2.1 Fire sprinkler system:
 - Not required for B occupancy
 - Required for F-1 occupancy Allowable Area.
 - Existing sprinkler system should be replaced to current code.
 - Historic Exception: EBC1203.12 Automatic fire-extinguishing systems. Every historical building that cannot be made to conform to the construction requirements specified in the International Building Code for the occupancy or use and that constitutes a distinct fire hazard shall be deemed to be in compliance if provided with an approved automatic fire-extinguishing system.

- Allowable Travel distance to exit: TABLE BC101.2 (sprinkled):
 - B occupancy 300 feet
 - F-1 occupancy 250 feet
- Actual Travel Distance to Exit: To be determined based on floor plan, currently most remote point does not exceed 250 feet.
- Corridor Fire-Resistance Rating: Table BC1020.1 (B or F occupancy):
 - Non- sprinkled -1 hr.
 - Sprinkled - 0 hr.
- Interior Exit Stairways and Ramps: BC1023.2: 2 hour Fire Barrier
 - Historic Exception: EBC1203.6 Stairway enclosure. In buildings of three stories or less, exit enclosure construction shall limit the spread of smoke by the use of tight-fitting doors and solid elements. Such elements are not required to have a fire-resistance rating.
- Enclosure of vertical shafts:
 - Existing shafts - EBC 1012.3 Exception 1, 1 hour allowable where a higher rating is required.
 - New shafts- BC1013.4 Fire-resistance rating. Shaft enclosures shall have a fire-resistance rating of not less than 2 hours where connecting four stories or more.
- Existing handrails and guards: Per EBC805.1 Handrails, and EBC805.11 Guards, the existing handrails will require replacement, and guards will need to be modified to prevent passage of 4" sphere.
- Elevators: BC3001: Elevator will require complete renovation to comply with ASME A17.1 for systems, emergency operations, fire service, and accessibility.
- Accessibility Requirements EBC1204.1
 - Where compliance with the requirements for accessible routes, entrances or toilet rooms would threaten or destroy the historic significance of the building or facility, as determined by the code official, the alternative requirements of Sections EBC1204.1.1 through EBC1204.1.4 for that element shall be permitted.
 - EBC1204.1.1 Site arrival points. At least one accessible route from a site arrival point to an accessible entrance shall be provided.
 - EBC1204.1.2 Multilevel buildings and facilities. An accessible route from an accessible entrance to public spaces on the level of the accessible entrance shall be provided.
 - EBC1204.1.3 Entrances. At least one main entrance shall be accessible.
 - Historical Exceptions:
 - 1. If a main entrance cannot be made accessible, an accessible nonpublic entrance that is unlocked while the building is occupied shall be provided; or
 - 2. If a main entrance cannot be made accessible, a locked accessible entrance with a notification system or remote monitoring shall be provided.
 - §EBC1204.1.4 Toilet and bathing facilities. Where toilet rooms are provided, at least one accessible family or assisted-use toilet room complying with Section BC110.2.1 of the International Building Code shall be provided.

Structural

- EBC100 The EBC states that any change of occupancy where such a change in the nature of occupancy result in higher uniform or concentrated loads for gravity, wind, snow, or seismic will require the structure to be analyzed and comply with the IBC.
- A structural engineer from Delta visited the site on December 5, 201 to perform a walkthrough of the building.
- The structure is a two story steel-framed structure with exterior masonry bearing walls with a brick facade. The steel structural elements, including beams and columns, appear to have been exposed to the elements for quite some time. The roof is partially collapsed and most of the steel framing supporting the roof has excessive rust and corrosion. The flanges of beams and columns have corroded to the point that the steel has delaminated and flakes off when touched. Due to the partial collapse of the roof, the second floor has areas of vegetation which have grown over the floor slab.
- A full structural analysis of the structure would need to be performed to determine the full extent of corrosion and the extent to which the structure could be salvaged. A full structural investigation would be performed to determine the adequacy of the remaining section of steel members based on the current building code required minimum design loads. The structural analysis would include field surveying the entire structure, once it has been remediated of all environmental hazards, and shored to ensure the safety of the surveyors. This field survey would include determining the layout and sizes of structural members, with detailed measuring of the un-corroded area of steel of each member. Once the structure has been fully surveyed, an analysis model will be built using structural analysis software and the minimum design loads for the new use of the structure will be applied for analysis. If the structural analysis fails, rehabilitation or removal options will be need to be designed.
- Based on the brief site observation of the existing condition of the structure, it is likely all the roof structure and columns supporting the roof would need to be replaced. In addition, the columns supporting the roof would likely need to be replaced from below the second floor up to the roof. It is also likely areas of the second floor slab and framing would need to be replaced.

Energy Code

- Energy Conservation Construction Code with 201 NYS supplements
- Climatic Zone: 6A
- Table ECC402.1.3 Opaque Thermal Envelope Insulation Component Minimum Requirements
 - R-value Method : Roof: R-30 continuous
 - Walls, above grade Metal framed: R-13 or R-15 continuous.
 - Walls, mass: R-15.2 continuous
- Table ECC402.4 Building Envelope Fenestration Maximum U-factor and SHGC Requirements
 - U-factor and SHGC for Vertical fenestration: fixed windows, 0.36

Plumbing Code

- 2015 International Plumbing Code w/ 201 NY supplements
- Chapter 4 – Section PC403 Fixtures
- Occupancy Based Plumbing Fixture Requirement:
 - F-1 (Factory) Occupancy (Fixtures per People MINIMUM)

- Water Closets Male/Female = 1/100
 - Lavatories Male/Female = 1/100
 - Drinking Fountains = 1/400
 - Service Sink = 1
 - Emergency Eyewash/Shower, requirement dependent upon factory operation, chemicals used, processes, etc.
- B (Business) Occupancy (Fixtures per People MINIMUM)
 - Water Closets Male/Female = 1/25 for up to 50 people. 1/50 for remaining amount.
 - Lavatories Male/Female = 1/40 for up to 80 people. 1/80 for remaining amount.
 - Drinking Fountains = 1/100
 - Service Sink = 1
- Estimated Plumbing Fixture Count (30,000 S.Ft):
 - Assuming One Bathroom Grouping Per Floor (Men's and Women's), 3 Floors total
 - Option 1: All Floors Business Occupancy: Water Closets = 12, Lavatories = 12, Service Sink = 3
 - Option 2: Factory Occupancy First Floor, Business Occupancy on Second Floor: Water Closets = 10, Lavatories = 10, Service Sink = 3, Emergency Eyewash = 1 and Emergency Shower = 1. Eyewash and shower requirement dependent upon factory operation, chemicals used, processes, etc.
- Section PC404 guidelines for ADA accessibility
- Chapter 6 Water Supply and Distribution
 - Section PC603 Water Service - a new 4" water service shall be provided to meet the demands of the new occupancy. Water service size shall be reviewed further pending factory application dependent requirements.
 - Section PC604 Water Distribution, fixture flow requirements shall comply with table PC604.4
 - Section PC606 Water distribution will include isolation valves
 - Section PC606.5 Water service pressure shall be reviewed, a booster system may be required to supplement the service pressure.
 - Section PC607 Domestic hot water shall be provided at 120 degrees with a circulation system.
 - Section PC608 a new 4" backflow (RPZ) shall be provided for the domestic service, while a 6" double check will be provided for the fire service (if required).

Fire Code

- 2015 International Fire Code w/ 2015 NY supplements, and referencing NFPA 13 & 14
- Chapter 5 Fire Protection Systems
 - Section FC03.2 Group B Occupancy: Automatic sprinkler system is not required for this occupancy.
 - Section FC02.2.4 Group F-1 Occupancy: Automatic sprinkler systems are not required unless factory is used to manufacture upholstered furniture or mattresses in excess of 2,500 sq. ft. OR if the factory is used for woodworking operations in excess of 2,500 sq. ft. that generates finely divided combustible waste or uses finely divided combustible materials.
 - Section FC05.3.1 Standpipes: Based on building height, the distance from the street level to the top floor is less than 30 feet, therefore standpipe system is not required for this building.

- According to the 2015 New York State Fire Code, a fire protection system is not required, unless one of the exceptions above applies. However, refer to the architectural code study for whether the 2015 New York State Building Code does require a Fire Protection System.

Mechanical Code

- 2015 International Mechanical Code w/ 2015 NY supplements, and referencing 2015 International Energy Conservation Code and ASHRAE
- The mechanical work to provide heating, cooling, and ventilation to the occupied portions of the building shall meet the following code requirements:
 - Minimum Energy Efficiency requirements shall be met by all HVAC equipment per the International Energy Conservation Code 2015 with NY State Amendments (IECC) per the tables in section C403.2.3.
 - The HVAC systems shall have Automatic temperature controls per IECC section C403.2.4
 - The HVAC systems shall be constructed with minimum duct insulation as defined in IECC section C403.2.5 and minimum piping insulation per Table C403.2.10.
 - Ventilation must be provided and controlled by natural or mechanical means for all occupied spaces per IECC C403.2.6 and IMC 401.2
 - Minimum ventilation rates must be provided per the International Mechanical Code 2015 with NYS amendments (IMC) table 403.3.1.1 (by occupancy type)
 - Minimum ventilation rates defined by activity are per ASHRAE 62.1-2009 Table 6-A-Ra and Rp.
 - Refrigerant piping within the occupied spaces shall be installed per the direction and limitations of ASHRAE 15.

Electrical

- The electrical work associated with renovating the building from an 'F' occupancy to 'B' occupancy as described above shall comply with the following codes:
- 2015 IEBC or IBC w/2016 NYS Amendments
- NFPA 70 – The National Electric Code (2014)
- Energy Conservation Construction Code of New York State (ECCC)
- New electrical service(s) are required. Each mercantile space shall be equipped with a metered service.

Lighting and Lighting Controls

- Per ECCC 405 Electrical Power and Lighting Systems: The building shall be equipped with lighting controls and have lighting density of no more of .82 Watts/Square Foot (W/SF) for the 'B' occupancies and 1.1 W/SF in the 'F' occupancy per the ECCC. This will be achieved with LED light fixtures and Occupancy Sensors. Each space will be evaluated for requirements for Occupancy Sensors, Daylighting Controls and Lighting Density.

Proposed Options for Plumbing, HVAC and Electrical Systems

Plumbing

- All Occupancies
 - Provide new services for potable water, natural gas, sanitary and storm systems. Separate water and gas meters could be provided for each tenant if there are multiple tenants.

- Provide new domestic cold water distribution system, hot water distribution system, and hot water recirculation system to all required fixtures and equipment.
- Provide gas distribution piping to all required equipment.
- Provide sanitary distribution piping to all required fixtures.
- Provide venting to all sanitary systems.
- Option 1: All Floors Business Occupancy
 - Provide central gas fired domestic water heater for all hot water demand in building basement. Separate smaller gas fired domestic water heaters could be provided for metering tenants separately.
- Option 2: Factory Occupancy (First Floor) / Business Occupancy (Second Floor)
 - Provide two gas fired domestic water heaters in a central mechanical room location. One unit shall be dedicated to Business occupancy and another dedicated to Factory occupancy. More gas fired domestic water heaters could be provided for metering tenants separately.

□□AC

- For Option 1 and Option 2
 - Provide gas fired condensing boilers and pumps (central heating) with total building heating capacity of about 1,500,000 BTUH. Provide 180°F hot water heating piping (supply and return) distribution for required mechanical equipment. Separate smaller boilers could be provided for metering tenants separately.
 - Provide ducted exhaust system for bathrooms, with an appropriate means of make-up air.
 - Provide supplemental heating along the exterior walls of the building around windows via Fin Tube Radiation (FTR) or Cabinet Unit Heaters (CUH).
- Option 1: All Floors Business Occupancy
 - Provide a Variable Refrigerant Flow (VRF) System to provide heating and cooling to spaces. System would consist of an outdoor VRF unit(s) totaling about 100 Tons of cooling, VRF refrigerant piping, a branch controller(s), and several air terminal devices (such as ceiling cassettes).
 - Provide an Energy Recovery Ventilator(s) (ERV) to supplement ventilation requirements for the space. This system would be ducted either to the required spaces directly, or ducted indirectly by means of ducting directly into the air terminal unit(s).
 - Provide a reheat coil on each ERV supply ducting to supplement space heating requirements.
 - These systems would be implemented on all floors.
 - Multiple outdoor VRF units could be provided for metering tenants separately.
- Alternate Option 1: All Floors Business Occupancy
 - Provide a 4-Pipe system with multiple Blower Coil Units (BCU) to provide heating and cooling to spaces. This system would consist of multiple blower coil units (multiple zones per floor), supply and return ductwork, supply and return diffusers, and a 4-pipe distribution system (hot water supply, hot water return, direct expansion (DX) refrigerant supply, and DX refrigerant return).
 - Provide multiple self-contained DX refrigerant condensing units, to produce 100 tons of DX refrigerant.

- Provide an Energy Recovery Ventilator(s) (ERV) to supplement ventilation requirements for the space. This system would be ducted either to the required spaces directly, or ducted indirectly by means of ducting directly into the return duct air stream.
- Provide a reheat coil on each ERV supply ducting to supplement space heating requirements.
- These systems would be implemented on all floors.
- BCUs and D□ condensing units could be separated for metering purposes.
- Option 2: Factory Occupancy (First Floor) / Business Occupancy (Second Floor)
 - Provide hydronic heating units such as Unit Heaters (UH), CUHs, FTRs as required to meet heating needs for first floor (Factory occupancy). Cooling for factory occupancy is not required. If cooling is desired (based upon factory operations), VRF System shall be provided on this floor.
 - Provide the VRF system, ERV system and reheat coils as described under option 1 for the first and second floor business occupancy in order to meet heating cooling and ventilation requirements.
 - Provide additional exhaust system with provisions for make-up air if required by the factory operations for vapors, smells, etc. An exhaust and make-up air system could also be implemented for economized cooling of the space, whereby cool, fresh air from outside could come in and replace the hot, humid air of the factory operations being exhausted outside.
- Alternate Option 2: Factory Occupancy (First Floor) / Business Occupancy (Second Floor)
 - Provide hydronic heating units such as Unit Heaters (UH), CUHs, FTRs as required to meet heating needs for first floor (factory occupancy). Cooling for factory occupancy is not required. If cooling is desired (based upon factory operations), a 4-pipe BCU system shall be provided on this floor.
 - Provide the 4-Pipe system with multiple BCUs, ERVs, and reheat coils as described under alternate option 1 for the first and second floor business occupancy in order to meet heating cooling and ventilation requirements.
 - Provide additional exhaust system with provisions for make-up air if required by the factory operations for vapors, smells, etc. An exhaust and make-up air system could also be implemented for economized cooling of the space, whereby cool, fresh air from outside could come in and replace the hot, humid air of the factory operations being exhausted outside.

Electrical

- Option 1 – Tenant Meters

Each tenant shall be provided a separately metered electrical service. If each spaces heating/cooling generation is located in the tenant space only tenant meters are required.
- Option 2 – Tenant Meters plus Owner meter.

Each tenant shall be provided a separately metered electrical service. If each spaces heating/cooling generation is located centrally and shared among the spaces than an owner meter shall be required, and heating/cooling costs would be included in rent costs.

Cost Estimate

- A cost estimate was developed with specific consideration to the existing structural condition of the building and the uncertainty of its load capacity. As described in the Structural portion of the Code Summary Outline section of this report, the entire building structure would need to be analyzed to determine if any of the interior structure could be salvaged. The cost estimate is a separate attachment to this report.
- Based on this uncertainty the cost estimate was developed for a building of this construction type, size, and for a business / office function to ascertain a base line cost. The estimate then includes the added cost for removal of the interior columns, floor deck, roof deck, and temporary shoring of the existing exterior walls to accommodate installation of a new interior structural system.
- No site work is included in the cost estimate as existing site utility information is unknown.
- Environmental abatement is included in the cost estimate based on the July 30, 2016 Pre-Demolition Asbestos Survey Report prepared by Delta.

Please contact myself at 603-231-6622 if you have any questions or comments.

Respectfully,

DELTA ENGINEERS, ARCHITECTS, & LAND SURVEYORS, DPC



Craig M. Ademan, AIA
Senior Project Architect

*Enc.
Cost Estimate*

Preliminary Cost Report

Project Name: 19 Avenue B Code Study

1/17/2018

Delta Project No. 2016.288.008

Office, 2 Story, Brick Veneer / Rigid Steel

Stories (Ea.): 2

Story Height (L.F.): 12

Floor Area (S.F.): 37000

Location: Binghamton, NY

Data Release: 2018

Wage Rate: Union

NO SITE WORK INCLUDED

			\$Cost/ Per S.F.	\$ Total Cost	% Of Sub-Total
General Requirements/Removals					17.6%
	General Requirements 10%		14.50	536,540.00	
	Temporary shoring		2.70	100,000.00	
	Abatement		4.05	150,000.00	
	Temporary utilities		2.17	80,250.00	
	Building Demolition		4.62	171,000.00	
Substructure					4.6%
	Foundation Walls Concrete Repair		2.47	91,500.00	
	Concrete Floor Repair		2.89	107,000.00	
	Excavations at Basement		1.93	71,500.00	
Shell					25.7%
	Floor Reconstruction		18.18	672,500.00	
	Roof Reconstruction		6.69	247,500.00	
	Exterior Wall Repair		4.26	157,500.00	
	Exterior Windows		4.08	151,000.00	
	Exterior Doors		1.35	50,000.00	
	Roof Coverings		5.97	221,000.00	
	Roof Openings		0.51	18,800.00	
Interiors					14.5%
	Partitions		2.41	89,000.00	
	Interior Doors		3.84	142,000.00	
	Fittings		0.23	8,350.00	
	Stair Construction		4.31	159,500.00	
	Wall Finishes		0.94	34,900.00	
	Floor Finishes		5.16	191,000.00	
	Ceiling Finishes		6.20	229,500.00	
Services					37.6%
	Elevators and Lifts		12.42	459,500.00	
	Plumbing Fixtures		2.14	79,000.00	
	Domestic Water Distribution		0.58	21,500.00	
	Rain Water Drainage		0.72	26,600.00	
	Terminal & Package Units		18.34	678,500.00	
	Sprinklers		4.00	148,000.00	
	Standpipes		1.05	39,000.00	
	Electrical Service/Distribution		1.93	71,500.00	
	Lighting and Branch Wiring		12.59	466,000.00	
	Communications and Security		6.27	232,000.00	
	Other Electrical Systems		0.00	0.00	
	Sub-Total		159.51	5,901,940.00	100%
	GENERAL CONDITIONS (Overhead & Profit)	20%	31.90	1,180,388.00	
	DESIGN FEES	15%	23.93	885,291.00	
	BONDS AND INSURANCE	3%	4.79	177,058.20	
	CONTINGENCY (Design and Construction)	30%	47.85	1,770,582.00	
	TOTAL BUILDING COST		267.98	9,915,259.20	

19 AVENUE B CODE STUDY

19 AVENUE B
JOHNSON CITY, NY 13790
DELTA PROJECT NO. 2016.288.008
1/17/2018

INDEX OF DRAWINGS

GENERAL

G-001 TITLE SHEET

ARCHITECTURAL

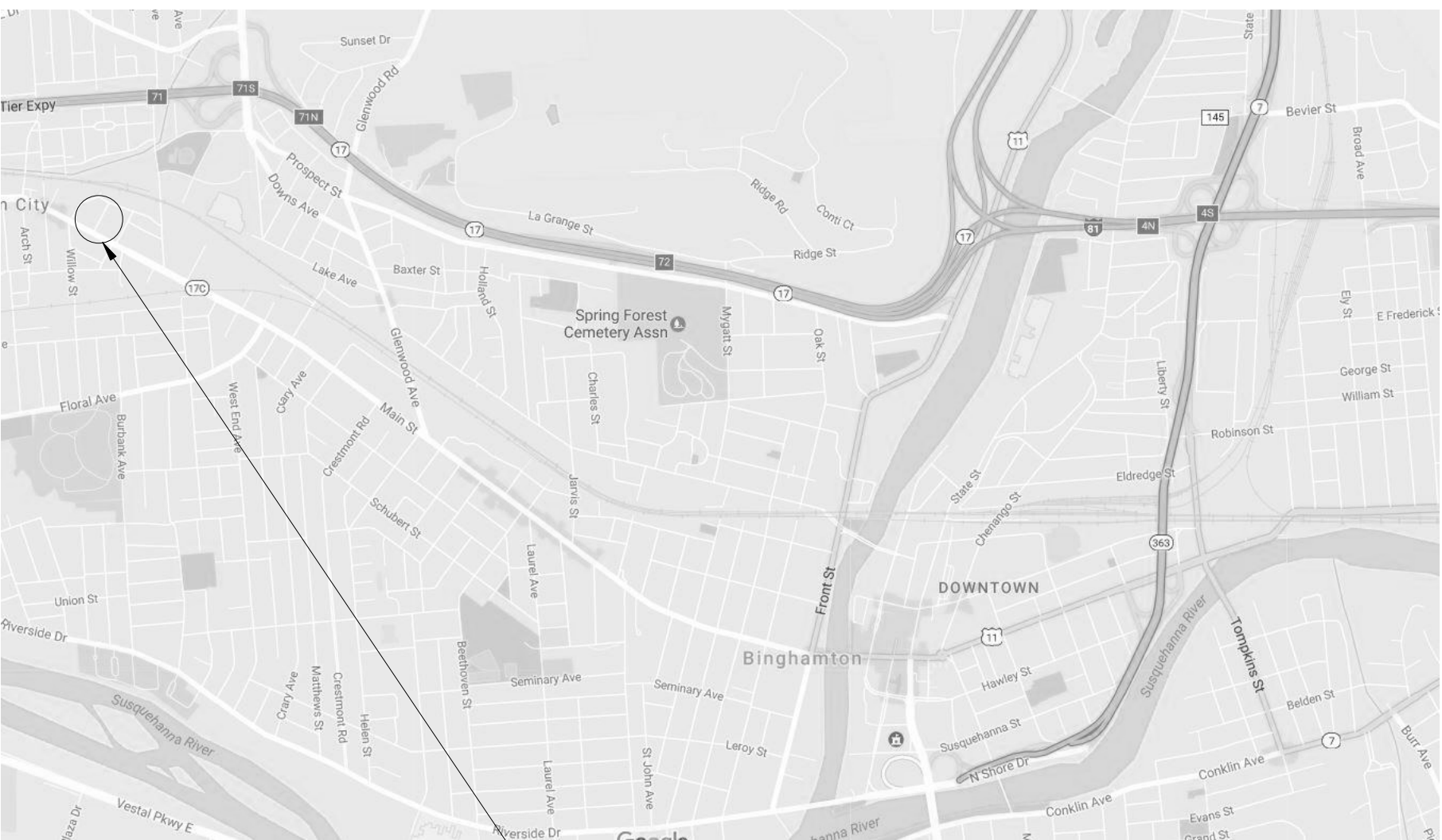
A-100 BASEMENT PLAN
A-101 FIRST FLOOR PLAN
A-102 SECOND FLOOR PLAN
A-201 ELEVATIONS AND BUILDING SECTION
A-202 ELEVATIONS AND BUILDING SECTION

ARCHITECT/ENGINEER



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Endwell, New York 13760
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Fax: 607.231.6650
Email: mail@delta-eas.com
www.delta-eas.com

PROJECT LOCATION



OWNER



BROOME COUNTY DEPARTMENT OF
PLANNING & ECONOMIC DEVELOPMENT

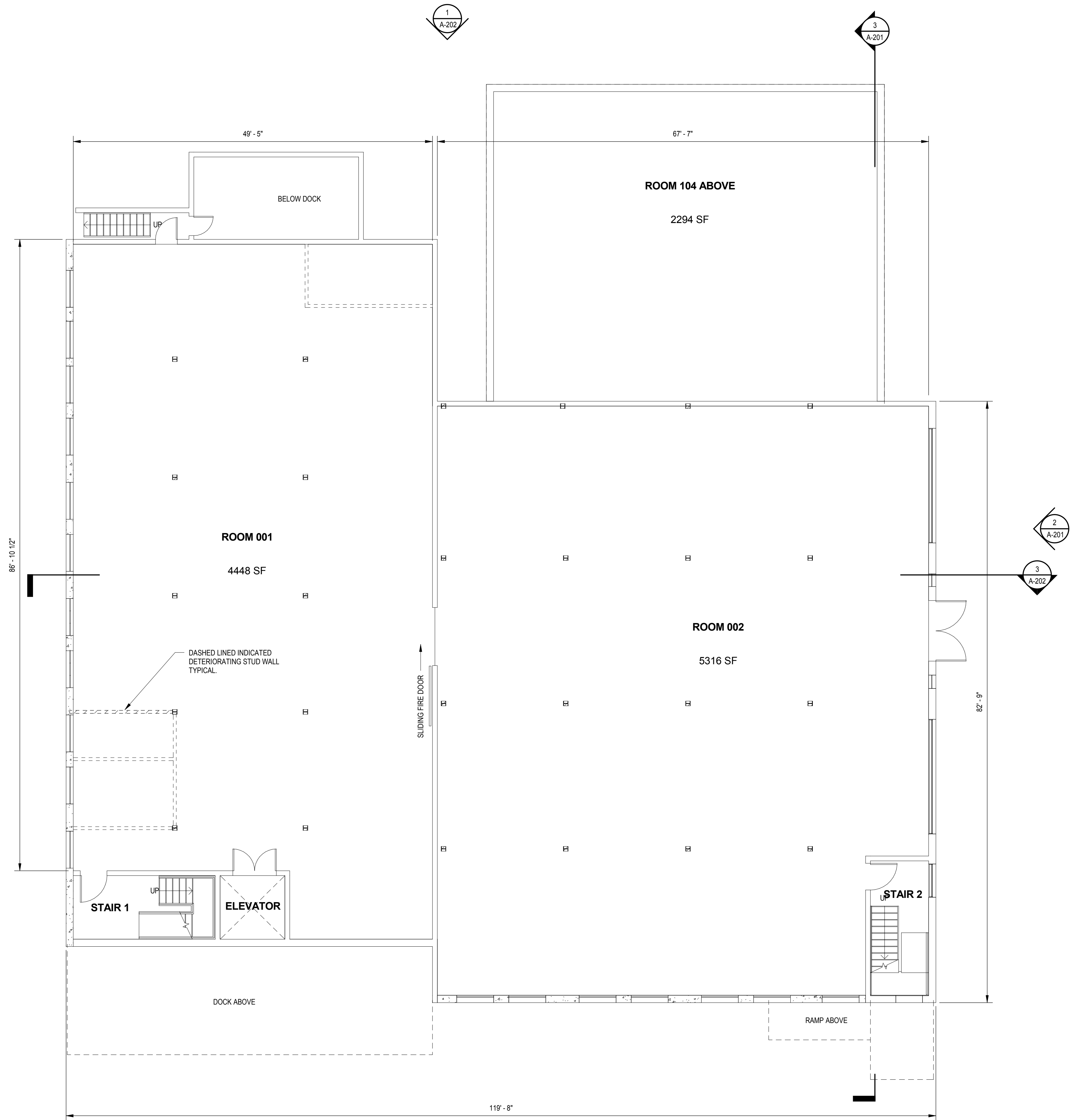
60 HAWLEY ST.
BINGHAMTON NY, 13902

G-001

PROPOSED BUILDING OCCUPANCIES	
BASEMENT FLOOR:	S-2 LOW HAZARD STORAGE (WITH UTILITY AND MECHANICAL SPACE)
FIRST FLOOR :	B-BUSINESS (F-1 MODERATE-HAZARD OPTION)
SECOND FLOOR :	B-BUSINESS

FLOOR TO FLOOR HEIGHTS	
FIRST FLOOR :	10'-6"
SECOND FLOOR:	11'-7"
ROOF DECK:	12'-8"
OVERALL BUILDING HEIGHT:	36' +/-

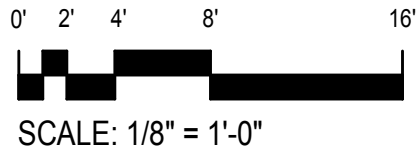
APPROXIMATE GROSS BUILDING AREA	
BASEMENT GROSS AREA::	10,500 SQFT
FIRST FLOOR GROSS AREA:	13,000 SQFT
SECOND FLOOR GROSS AREA:	13,000 SQFT
TOTAL GROSS AREA:	36,500 SQFT



1
A-100

BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"

NORTH



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JOHNSON CITY		NEW YORK

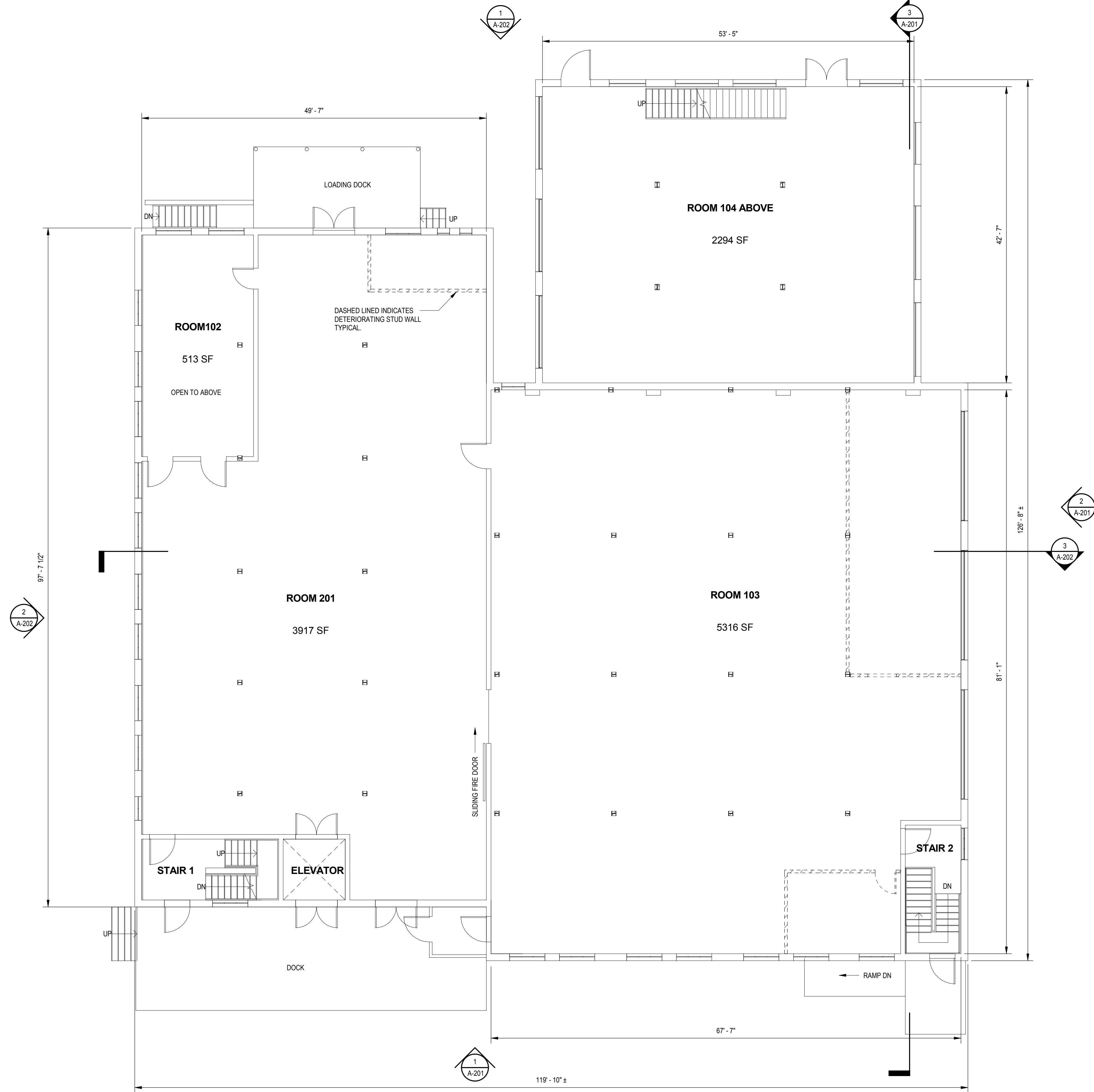
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	Project No.	2016.288.008
	Date	1/17/2018

Drawing Title
BASEMENT PLAN

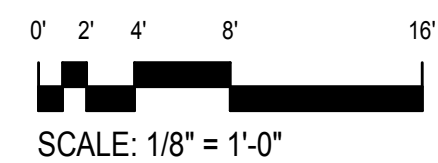
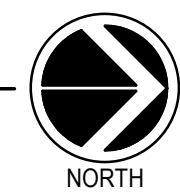
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A-100



1
A-101

FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



No.	Revision	Date

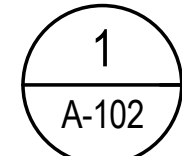
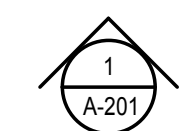
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JOHNSON CITY NEW YORK

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	Date	1/17/2018

Drawing Title
FIRST FLOOR PLAN

Drawing No.
A-101



SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"

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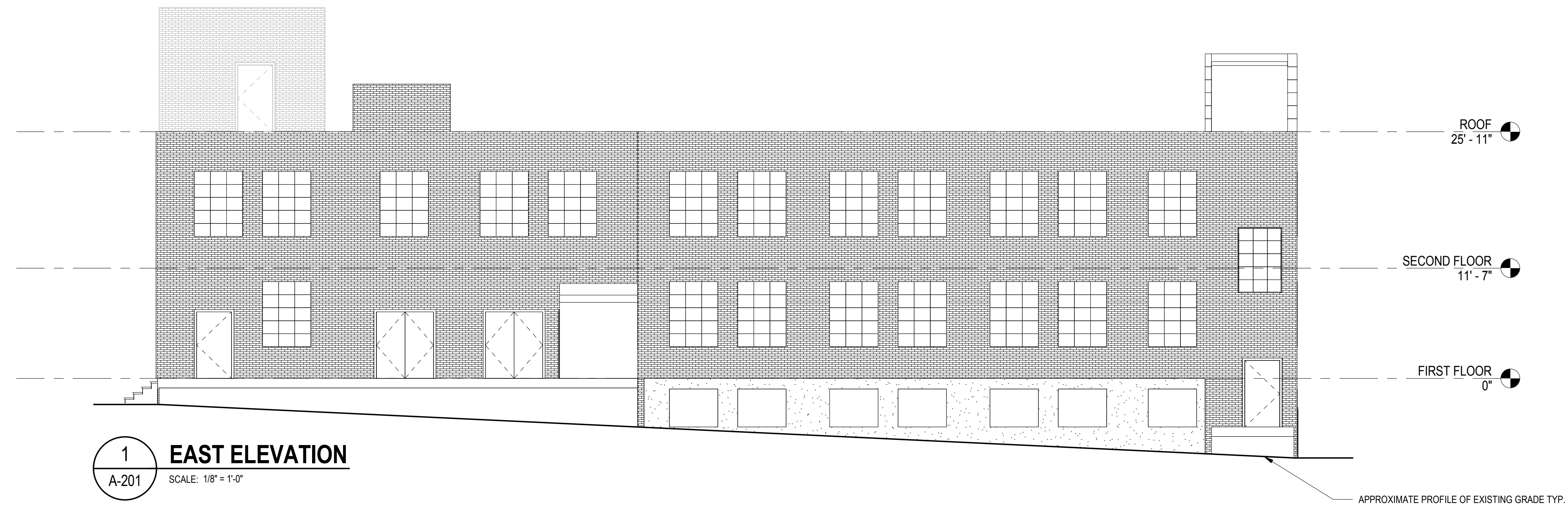
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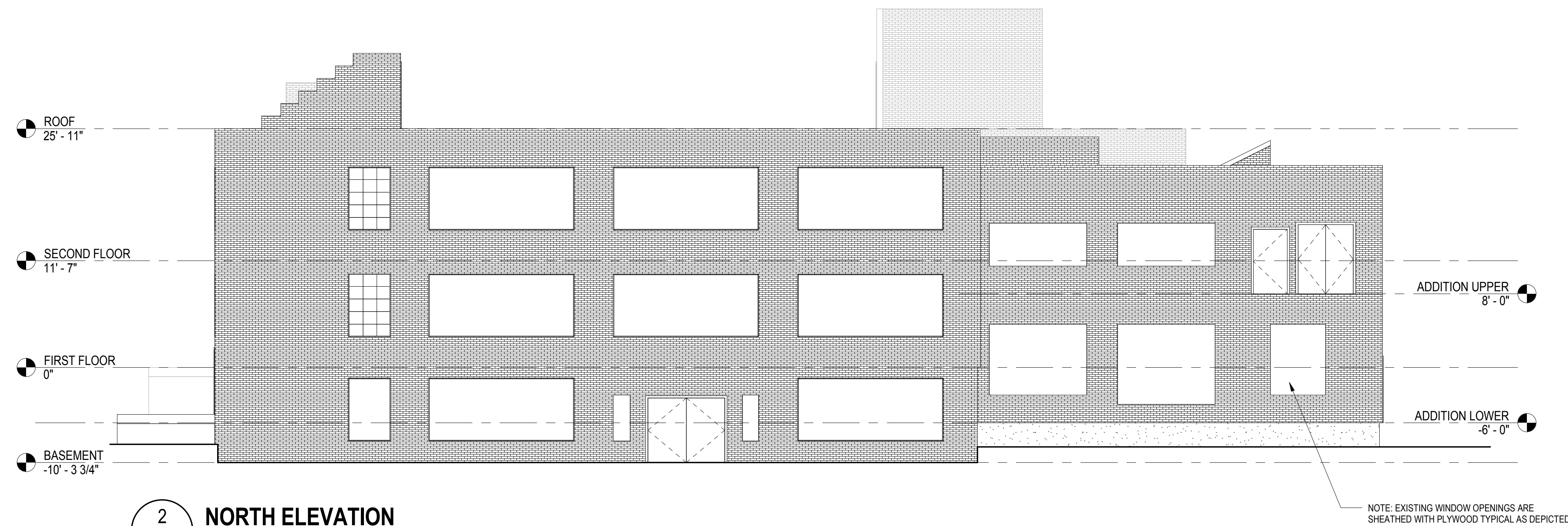
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Drawing Title
SECOND FLOOR PLAN

Drawing No.
A-102



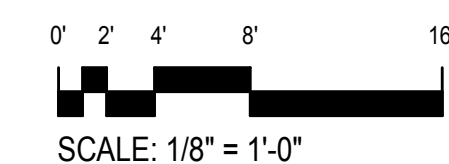
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A-201
EAST ELEVATION
SCALE: 1/8" = 1'-0"



2
A-201
NORTH ELEVATION
SCALE: 1/8" = 1'-0"



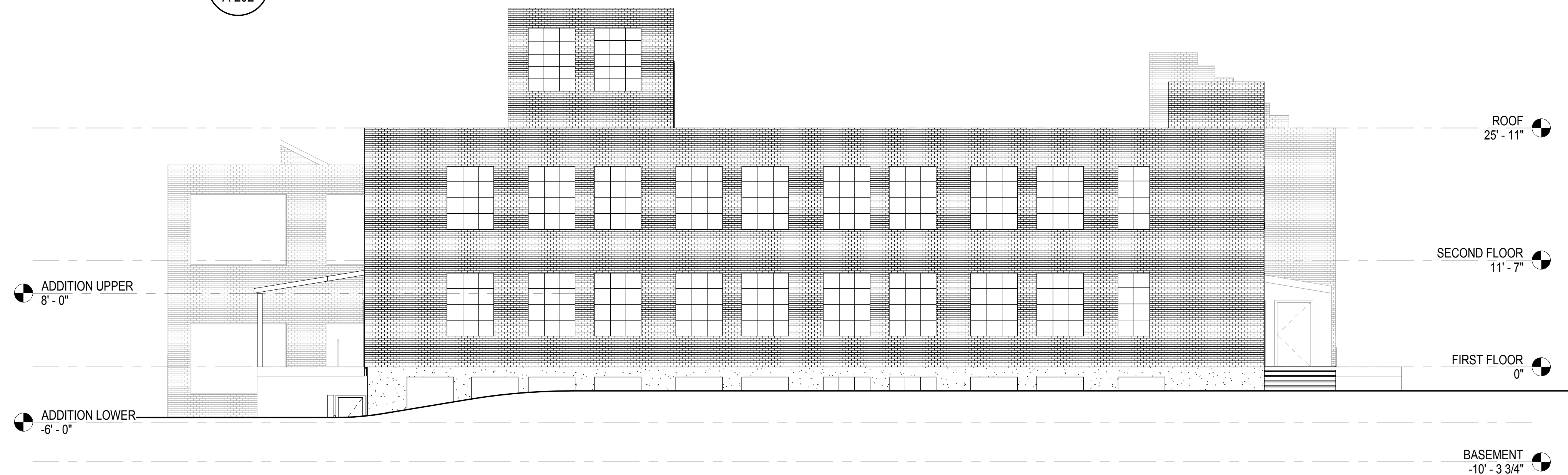
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A-201
BUILDING SECTION 1
SCALE: 1/8" = 1'-0"



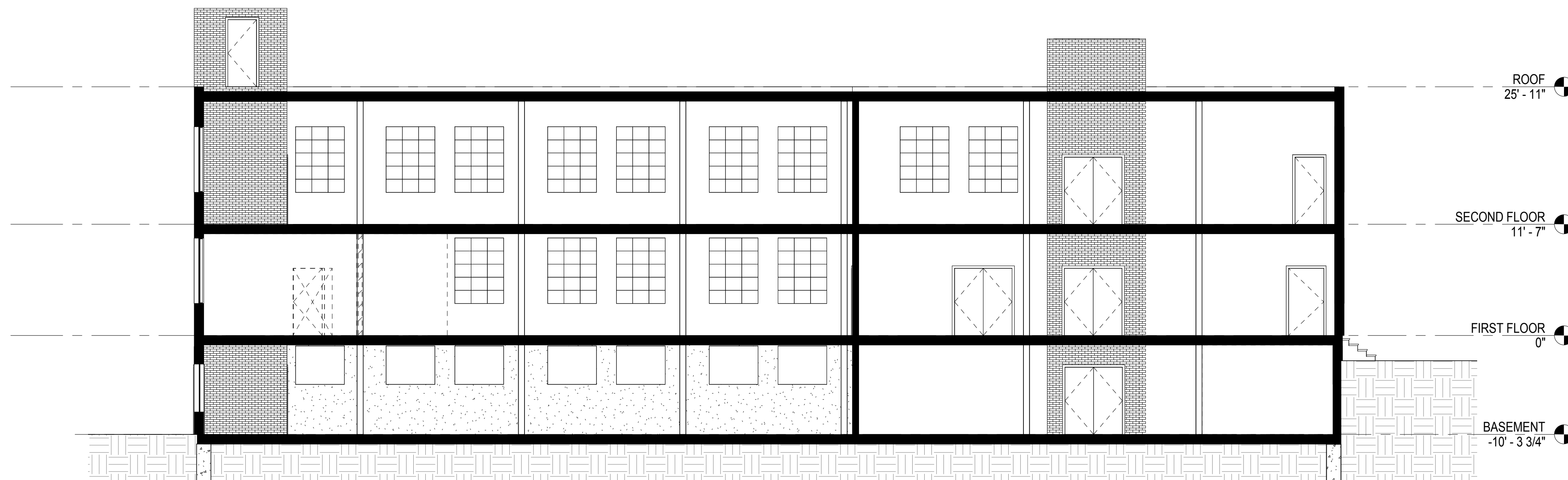
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ELEVATIONS AND BUILDING SECTION		
Drawing No.		
A-201		



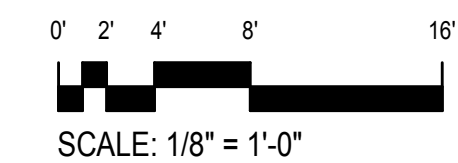
1 **WEST ELEVATION**
A-202 SCALE: 1/8" = 1'-0"



2 **SOUTH ELEVATION**
A-202 SCALE: 1/8" = 1'-0"



3 **BUILDING SECTION 2**
A-202 SCALE: 1/8" = 1'-0"



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